

NEW COVERED PORCH:
+/- 102 SQ. FT. (FOOTPRINT)

ADDITION FIRST FLOOR:
+/- 1,046 SQ. FT. (FOOTPRINT)

EXISTING FIRST FLOOR
TO REMAIN: +/-1,315 SQ. FT.
(FOOTPRINT)

EXISTING FRONT PORCH:
+/- 110 SQ. FT. (FOOTPRINT)

FLOOR AREA RATIO (FAR) ILLUSTRATION
SCALE: 1/4" = 1'-0"

DETACHED GARAGE:
+/- 768 SQ. FT. (FOOTPRINT)

FLOOR AREA RATIO:

LOT AREA	11,522 SQ. FT.
EXISTING FIRST FLOOR	1,315 SQ. FT.
ADDITION FIRST FLOOR	1,046 SQ. FT.
TOTAL FLOOR AREA	2,361 SQ. FT.
FLOOR AREA RATIO	20.5%
MAXIMUM FAR IS 30%	
30% OF 11,522 SQ. FR.	= 3,456 SQ. FT.
LOWER LEVEL FINISHED	737 SQ. FT.
LOWER LEVEL UNFINISHED	1,425 SQ. FT.
DETACHED GARAGE	768 SQ. FT.
FRONT PORCH	110 SQ. FT.
NEW REAR COV. PORCH	102 SQ. FT.
HOUSE HEIGHT	+/- 19'-1 3/4" (EXISTING)



LAUREN STRUTMAN
ARCHITECT
MO #A-5288

The professional seal, signature and stamp of the architect are required on all drawings. The seal and stamp are required on all drawings. The seal and stamp are required on all drawings. The seal and stamp are required on all drawings.

PRELIMINARY DRAWINGS
ONLY - NOT FOR
CONSTRUCTION

ADDITION & REMODELING AT:
411 VENNEMAN AVE.
GLENDALE, MO 63122

LAUREN STRUTMAN
ARCHITECTS P.C.

16676 OLD CHESTERFIELD RD. • CHESTERFIELD, MO 63011
PHONE: (636) 531-0880 • FAX: (636) 531-1021
EMAIL: RALPH@LSSA-STL.COM

LAUREN STRUTMAN ARCHITECTS, P.C.
MISSOURI STATE CERTIFICATE OF AUTHORITY # A-000046511D

REVISIONS

DRAWN BY: R.E.W.

JOB NO.

DATE: 8/7/2026

SHEET:

PHOTOGRAPHY OF PROPOSED AND ADJACENT PROPERTIES



407 VENNEMAN AVE.



411 VENNEMAN AVE.



415 VENNEMAN AVE.



407 VENNEMAN AVE. REAR



411 VENNEMAN AVE. REAR



415 VENNEMAN AVE. REAR

LAUREN STRUTMAN
ARCHITECT
MO # A - 5 2 8 8

The professional whose signature and
personal seal appear above assumes
responsibility only for what appears on
this page and disclaims liability for
Section 317.41 R.S.Mo. any responsibility
for all other plans, specifications, estimates,
reports, or other documents or instruments
not signed by the undersigned professional
relating to or intended to be used for any
part or parts of the project to which this
page refers.

PRELIMINARY DRAWINGS
ONLY - NOT FOR
CONSTRUCTION

ADDITION & REMODELING AT:
411 VENNEMAN AVE.
GLENDALE, MO 63122

LAUREN STRUTMAN
ARCHITECTS P.C.
16616 OLD CHESTERFIELD RD. • CHESTERFIELD, MO 63011
PHONE: (636) 551-0880 • FAX: (636) 551-1071
EMAIL: RALPH@LSA-ATL.COM
LAUREN STRUTMAN ARCHITECTS, P.C.
MISSOURI STATE CERTIFICATE OF AUTHORITY • A-200014651-D

REVISIONS

DRAWN BY: R.E.W.

JOB NO. _____

DATE: 8/1/2026

SHEET: _____



725

764

774

784

735

435

431

427

415

401

Venneman Ave

Venneman Ave

412

410

408

406

402

400

Google Maps

E Essex Ave

LAUREN STRUTMAN
- ARCHITECT
MO # A - 5 2 8 8

The professional whose signature and personal seal appear above assumes responsibility only for what appears on this page and disclaims liability for all other plans, specifications, estimates, reports, or other documents or instruments not issued by the undersigned professional relating to or intended to be used for any part or parts of the project to which this page refers.

PRELIMINARY DRAWINGS
ONLY - NOT FOR
CONSTRUCTION

ADDITION & REMODELING AT:
411 VENNEMAN AVE.
GLENDALE, MO 63122

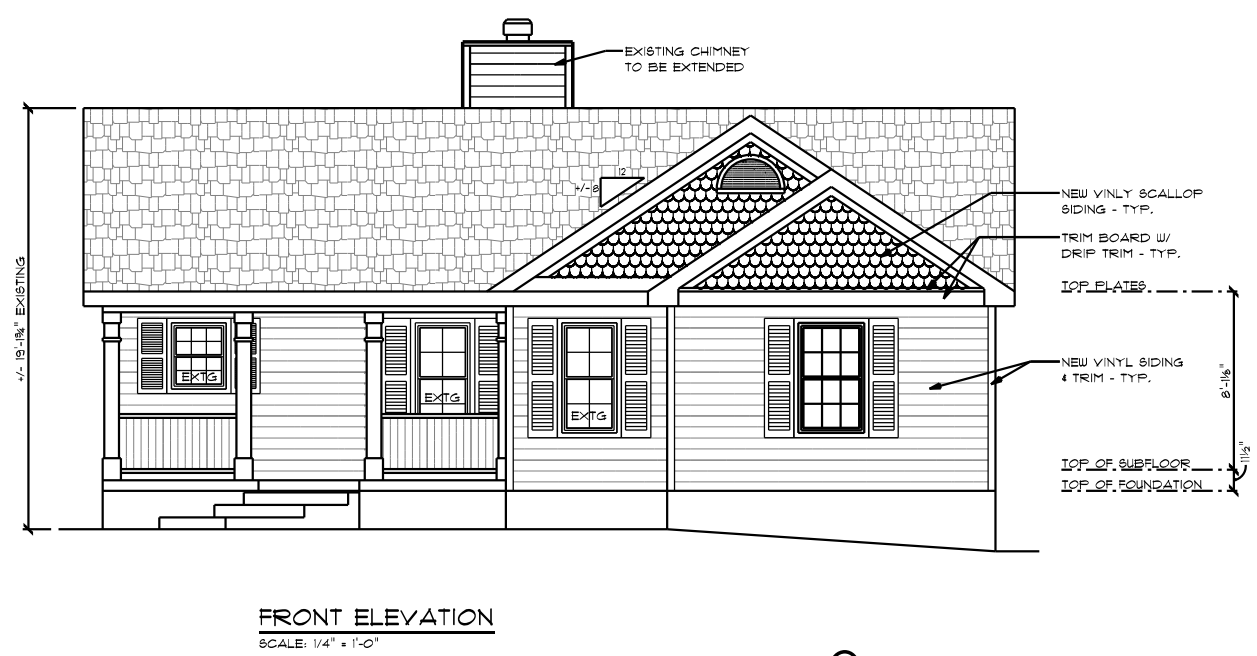
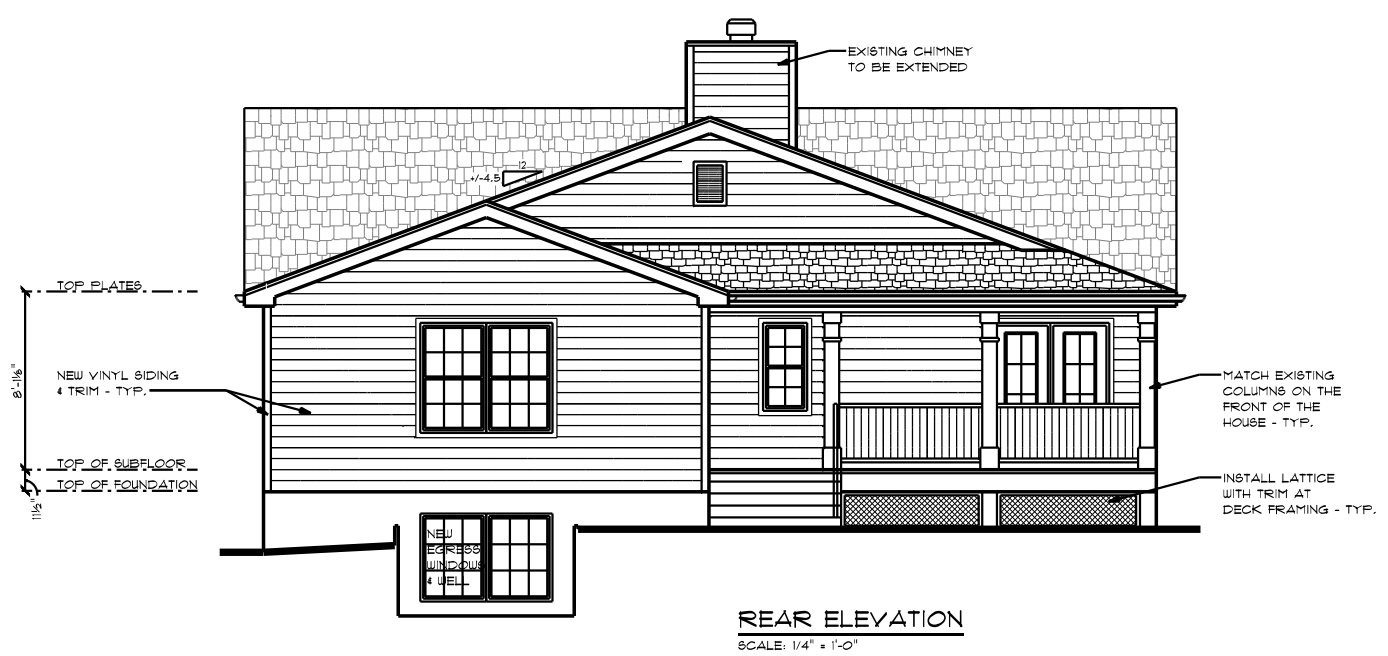
LAUREN STRUTMAN
- ARCHITECTS P.C.
16676 OLD CHESTERFIELD RD. • CHESTERFIELD, MO 63011
PHONE: (636) 531-0880 • FAX: (636) 531-0271
E-MAIL: RALPH@LAURENSTRUTMAN.COM
LAUREN STRUTMAN ARCHITECTS, P.C.
MISSOURI STATE CERTIFICATE OF AUTHORITY # A-200014651-D

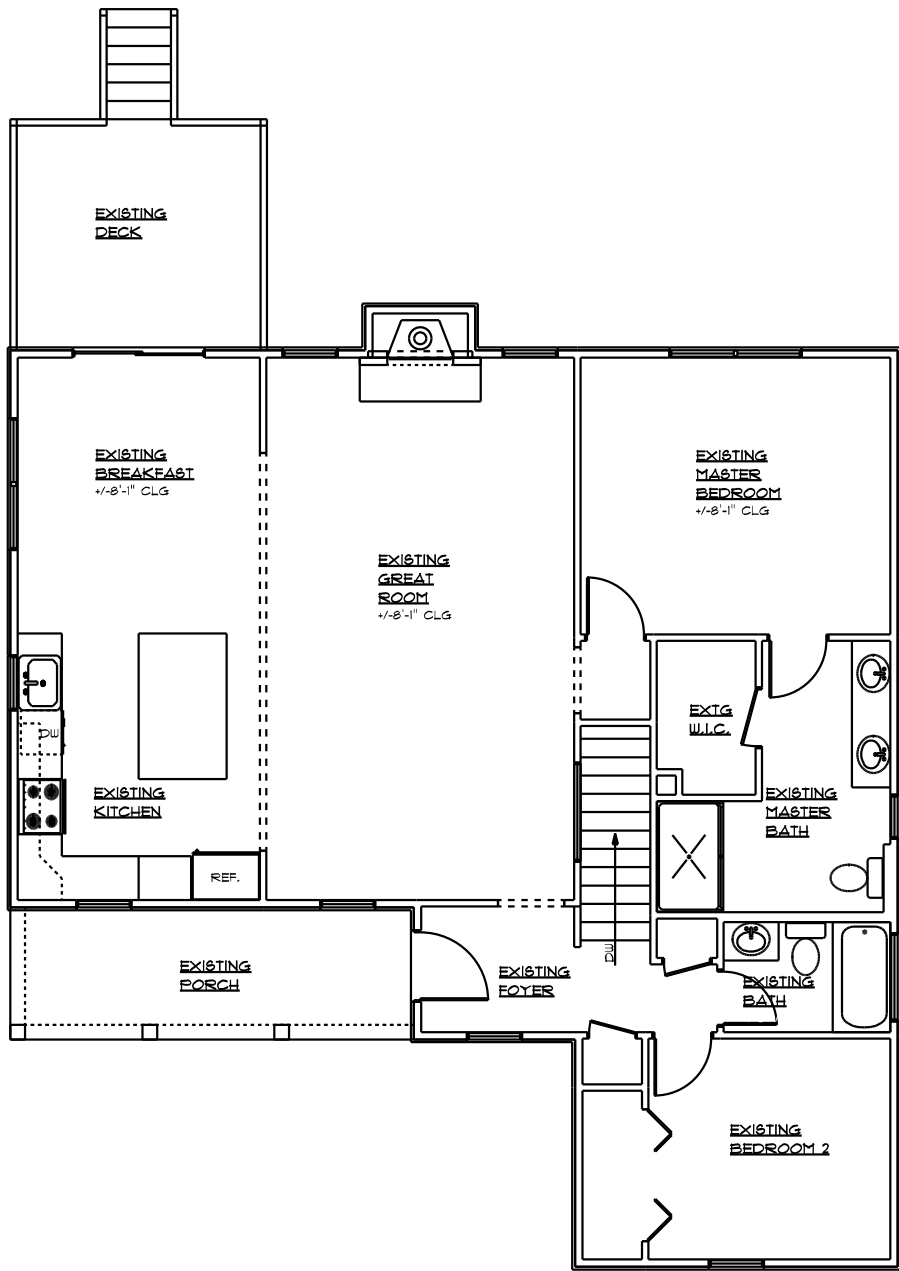
REVISIONS

DRAWN BY: R.E.W.
JOB NO.:
DATE: 8/7/2026
SHEET:

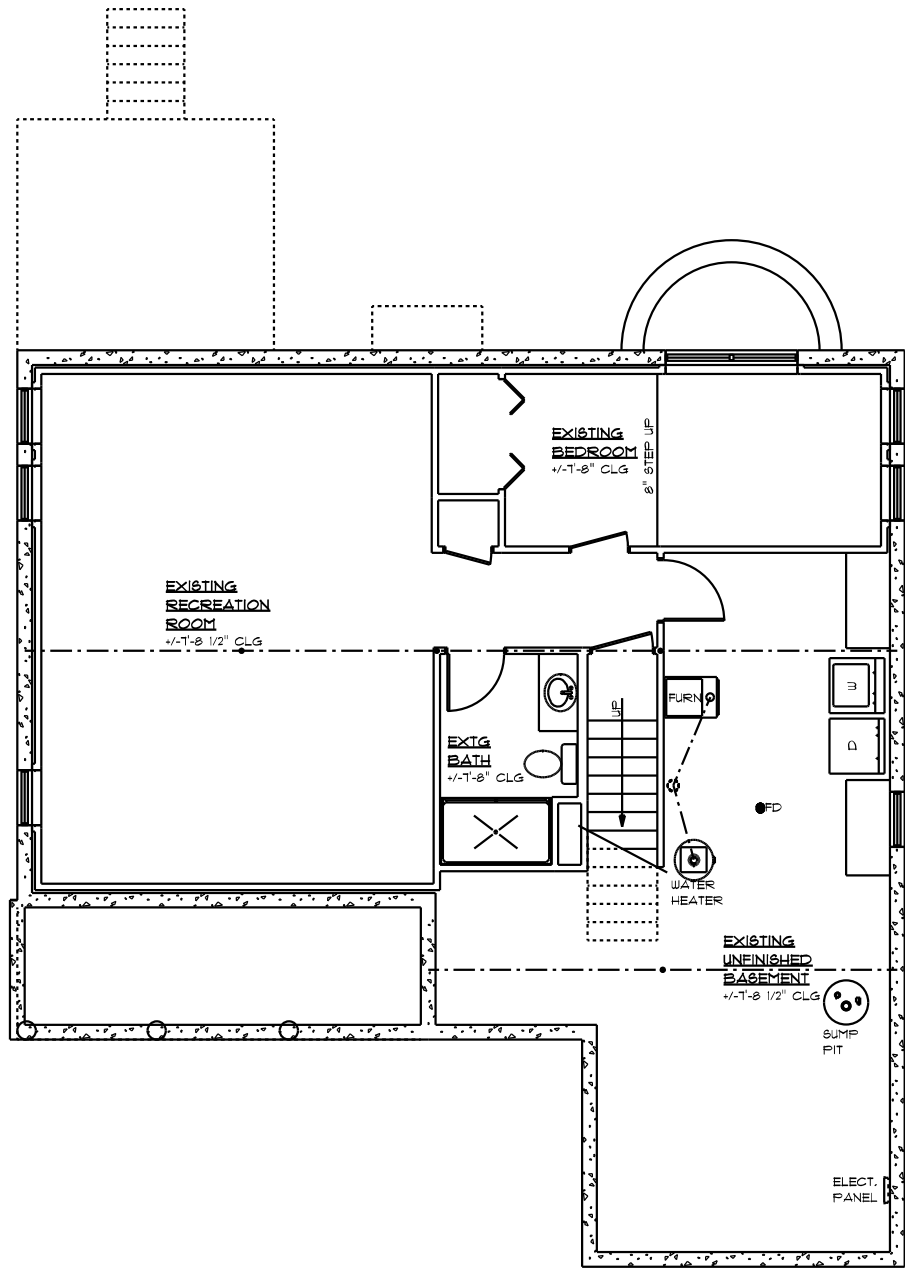


- GENERAL NOTES FOR ELEVATIONS**
- WHEREVER A ROOF ABUTTS A VERTICAL WALL, EAVE, OR CHIMNEY, INSTALL ALUMINUM FLASHING WITH A BAKED-ON ENAMEL FINISH A MIN. OF 6" UP WALL, AND 6" OUT ONTO ROOF.
 - FOR ROOFING MATERIALS AND UNDERLAYMENT SEE SPECIFICATIONS.
 - EXTERIOR FINISH OF NEW ADDITION SHALL BE:
ALL SIDING SHALL BE REPLACED W/ NEW VINYL SIDING (ON EXISTING HOUSE AND NEW ADDITION.)
ALL FASCIA'S AND RAKE BOARDS SHALL MATCH EXISTING.
ALL SOFFITS SHALL MATCH EXISTING VENTED SOFFIT MATERIAL, VERIFY EXACT SOFFIT AND VENT MATERIAL WITH OWNER.
 - INSTALL SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS WITH A BAKED-ON ENAMEL FINISH TO MATCH EXISTING, (SEE SPECIFICATIONS). VERIFY LOCATION OF DOWNSPOUTS WITH OWNER, AND INSTALL ONE DOWNSPOUT PER 25' (MAX.) GUTTER RUN.
 - CONCRETE FOUNDATIONS SHALL BE A MINIMUM OF 30" BELOW FINISHED GRADE, AND THE BOTTOM OF THE FOOTING SHALL ALWAYS REST ON VIRGIN SOIL.





EXISTING MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0" 1/2" 1315 SQ. FT.



EXISTING LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

LAUREN STRUTMAN
- ARCHITECT
MO # A - 5 2 8 8

The professional whose signature and personal seal appear above assumes responsibility only for what appears on this page and disclaims liability to Section 327.41 R.S.Mo. any responsibility for all other plans, specifications, estimates, reports, or other documents or instruments not issued by the undersigned professional relating to or intended to be used for any part or parts of the project to which this page refers.

PRELIMINARY DRAWINGS
ONLY - NOT FOR
CONSTRUCTION

ADDITION & REMODELING AT:
411 VENNEMAN AVE.
GLENDALE, MO 63122

LAUREN STRUTMAN
- ARCHITECTS P.C.
16676 OLD CHESTERFIELD RD. • CHESTERFIELD, MO 63011
PHONE: (636) 531-0880 • FAX: (636) 531-0271
E-MAIL: RALPH@LSA5TL.COM
LAUREN STRUTMAN ARCHITECTS, P.C.
MISSOURI STATE CERTIFICATE OF AUTHORITY # A-200014651-D

REVISIONS

DRAWN BY: R.E.W.
JOB NO.
DATE: 8/7/2026
SHEET:

FAR CALCULATION:

LOT AREA 11,522 SQ. FT

FIRST FLOOR 2,361 SQ. FT.

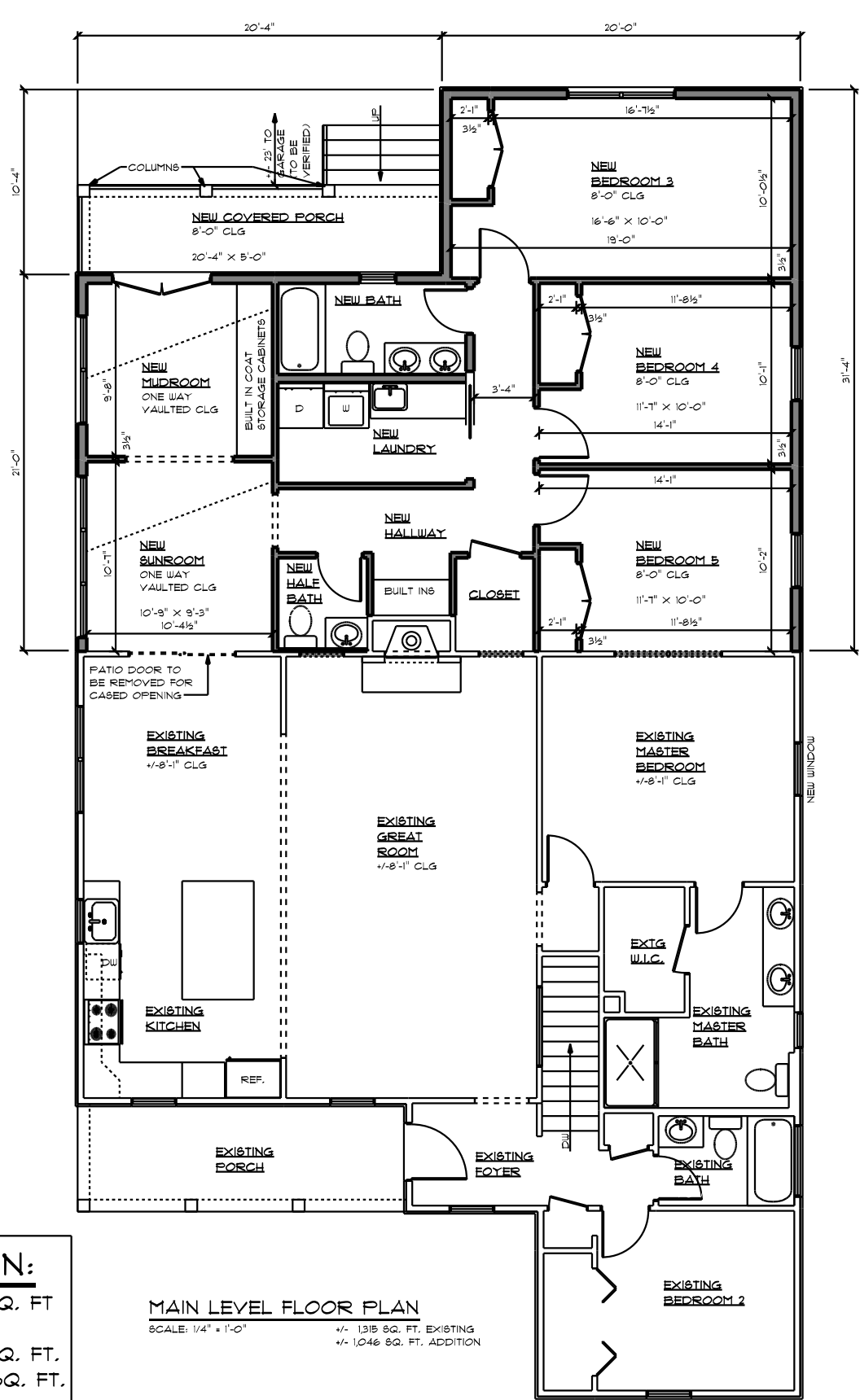
TOTAL FLOOR AREA 2,361 SQ. FT.

FLOOR AREA RATIO 20.5%

(MAX ALLOWED FAR IS 30%)

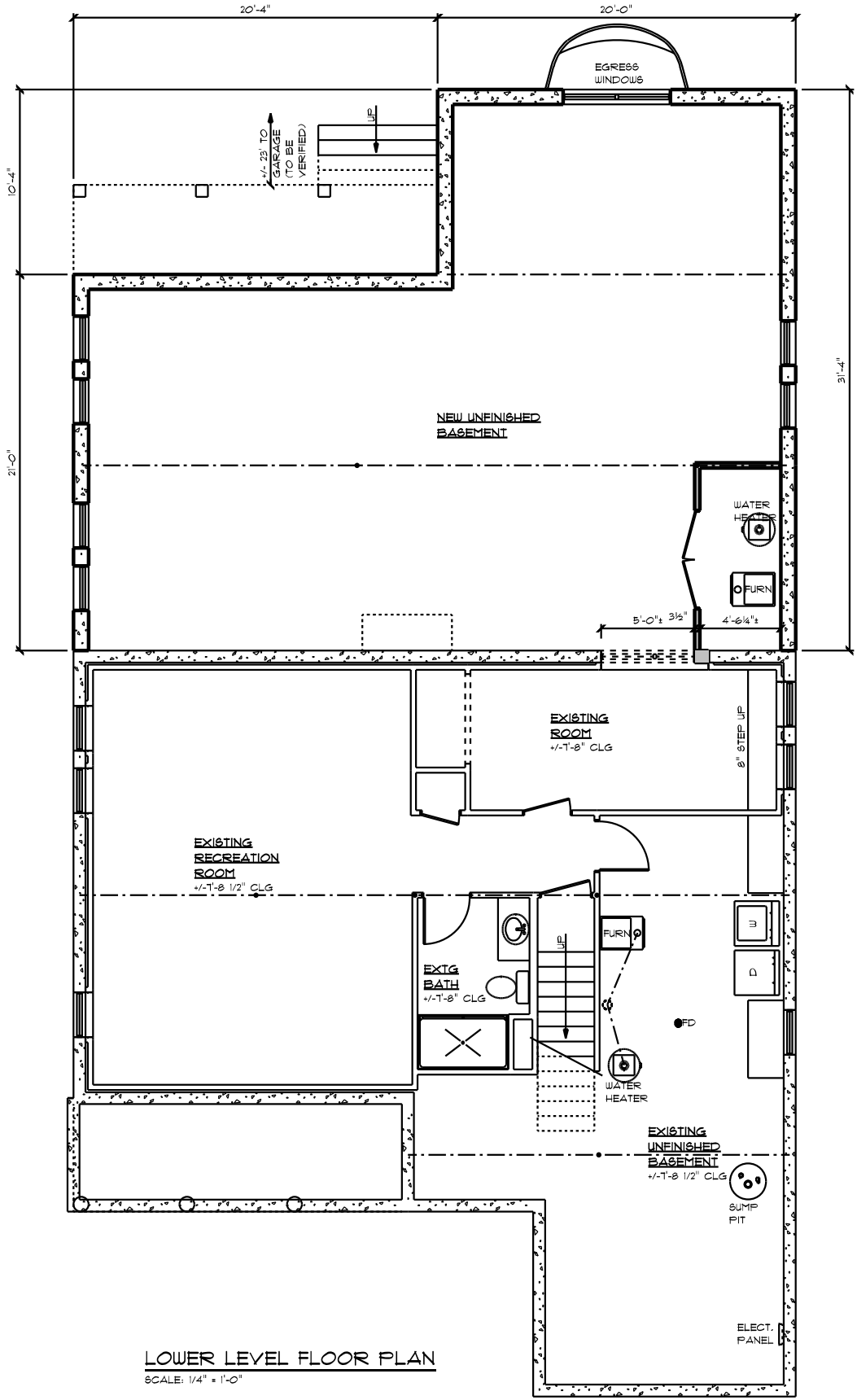
MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"
+/- 1,315 SQ. FT. EXISTING
+/- 1,046 SQ. FT. ADDITION



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



LAUREN STRUTMAN
ARCHITECT
MO • A • B • 2 • B • B

The professional whose signature and personal seal appear above assumes responsibility only for what appears on this paper and disclaims liability for all other plans, specifications, estimates, reports, or other documents or instruments not issued by the undersigned professional relating to or intended to be used for any part or parts of the project to which this paper refers.

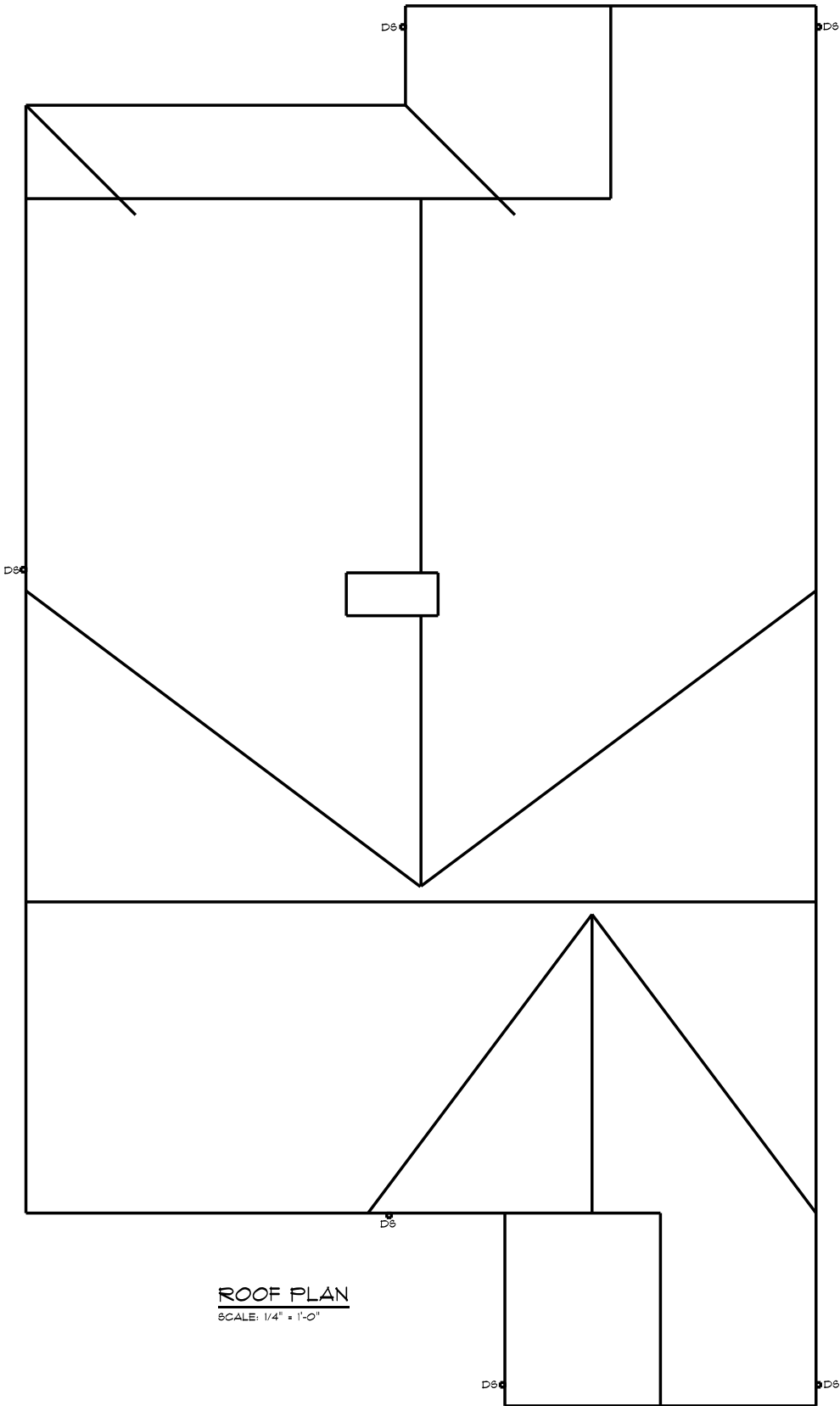
PRELIMINARY DRAWINGS
ONLY - NOT FOR
CONSTRUCTION

ADDITION & REMODELING AT:
411 VENNEMAN AVE.
GLENDALE, MO 63122

LAUREN STRUTMAN
ARCHITECTS P.C.
16676 OLD CHESTERFIELD RD. • CHESTERFIELD, MO 63011
PHONE: (636) 531-0880 • FAX: (636) 531-1071
E-MAIL: RALPH@LSA-ILL.COM
LAUREN STRUTMAN ARCHITECTS, P.C.
MISSOURI STATE CERTIFICATE OF AUTHORITY • A-200014651-D

REVISIONS

DRAWN BY: R.E.W.
JOB NO.:
DATE: 8/7/2026
SHEET:



ROOF PLAN
SCALE: 1/4" = 1'-0"

LAUREN STRUTMAN
ARCHITECT
MO • A - 5 2 8 8

The professional whose signature and
personal seal appear above assumes
responsibility only for what appears on
this page and disclaims (pursuant to
Section 371.41) R.S.Mo.) any responsibility
for all other plans, specifications, estimates,
reports, or other documents or instruments
not issued by the undersigned professional
relating to or intended to be used for any
part or parts of the project to which this
page refers.

PRELIMINARY DRAWINGS
ONLY - NOT FOR
CONSTRUCTION

ADDITION & REMODELING AT:
411 VENNEMAN AVE.
GLENDALE, MO 63122



LAUREN STRUTMAN
ARCHITECTS P.C.
16676 OLD CHESTERFIELD RD. • CHESTERFIELD, MO 63011
PHONE: (636) 531-0880 • FAX: (636) 531-0271
E-MAIL: RALPH@LSA-5TL.COM

LAUREN STRUTMAN ARCHITECTS, P.C.
MISSOURI STATE CERTIFICATE OF AUTHORITY • A-200014851-D

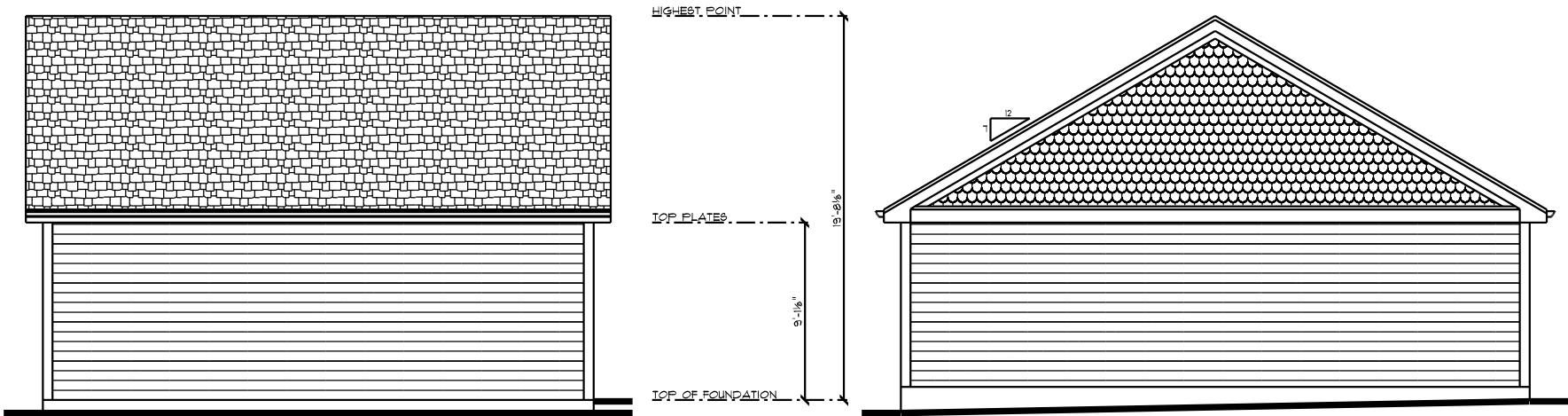
REVISIONS

DRAWN BY: R.E.W.

JOB NO.:

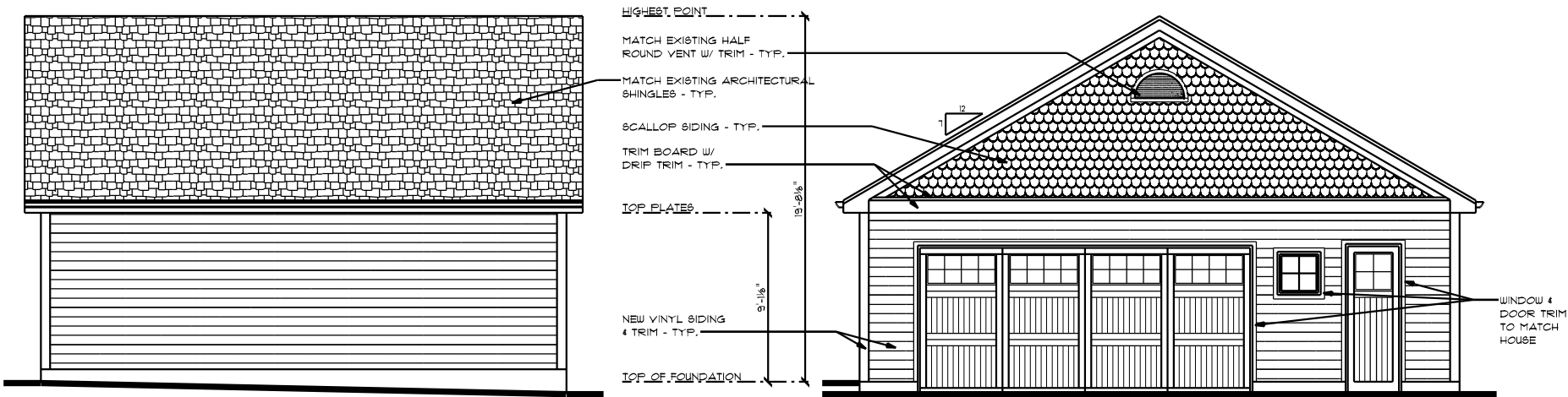
DATE: 8/7/2026

SHEET:



DETACHED GARAGE RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

DETACHED GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"

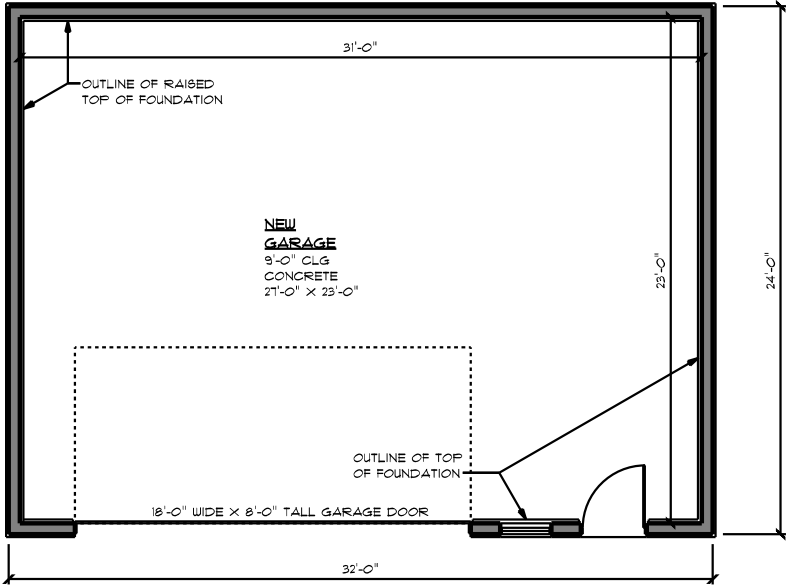


DETACHED GARAGE LEFT ELEVATION
SCALE: 1/4" = 1'-0"

DETACHED GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES FOR ELEVATIONS

1. WHEREVER A ROOF ABUTTS A VERTICAL WALL, EAVE, OR CHIMNEY, INSTALL ALUMINUM FLASHING WITH A BAKED-ON ENAMEL FINISH A MIN. OF 6" UP WALL, AND 6" OUT ONTO ROOF.
2. FOR ROOFING MATERIALS AND UNDERLAYMENT SEE SPECIFICATIONS.
3. EXTERIOR FINISH OF NEW DETACHED GARAGE SHALL BE:
ALL SIDING & TRIM SHALL MATCH NEW SIDING AND TRIM ON HOUSE.
ALL FASCIA'S AND RAKE BOARDS SHALL MATCH EXISTING.
ALL SOFFITS SHALL MATCH EXISTING VENTED SOFFIT MATERIAL, VERIFY EXACT SOFFIT AND VENT MATERIAL WITH OWNER.
4. INSTALL SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS WITH A BAKED-ON ENAMEL FINISH TO MATCH EXISTING, (SEE SPECIFICATIONS). VERIFY LOCATION OF DOWNSPOUTS WITH OWNER, AND INSTALL ONE DOWNSPOUT PER 25' (MAX.) GUTTER RUN.
5. CONCRETE FOUNDATIONS SHALL BE A MINIMUM OF 30" BELOW FINISHED GRADE, AND THE BOTTOM OF THE FOOTING SHALL ALWAYS REST ON VIRGIN SOIL.



NEW DETACHED GARAGE PLAN
SCALE: 1/4" = 1'-0" +/- 768 SQ. FT.